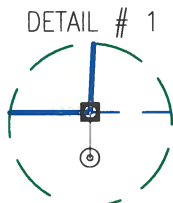


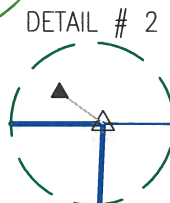
20' 0 20'

BAUSTIN V, LTD.
DOC.# 2010162240

LOT A,
ZIAJA ADDITION, PER 70/47



DETAIL NOT TO SCALE
FROM A CAPPED 1/2" IRON REBAR
SET AT THE LOT CORNER, AN IRON
PIPE FOUND BEARS:
S 88°10'20" W 0.35'



DETAIL NOT TO SCALE
FROM A MAG NAIL SET WITH WASHER
AT THE LOT CORNER, A 60D NAIL
FOUND BEARS: N 28°10'33" E 1.36'

WEST 200' OF LOT 7 BLOCK 12

WEST 200' OF LOT 8

(BEARING BASIS)
S 89°49'00" E 200.30' [200.00']

WEST 200' OF LOT 6

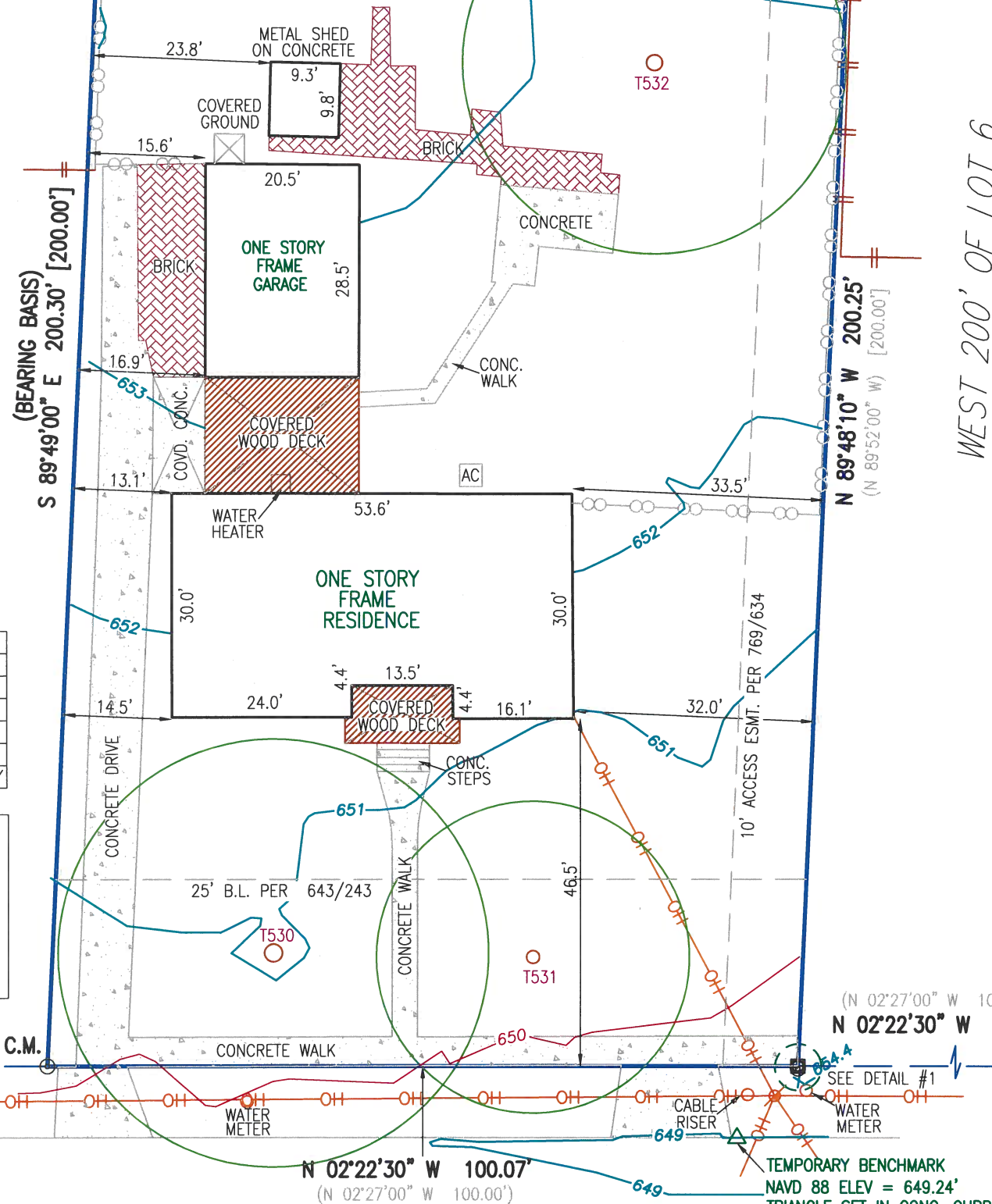
N 89°48'10" W 200.25'
(N 89°52'00" W) [200.00']

TREE LEGEND

TAG NO.	TREE DESCRIPTION
T530	28.7" SYCAMORE
T531	M.S. 20.9" SYCAMORE
T532	M.S. 25.6" ELM
T533	28.9" PECAN
T534	18.5" PECAN
T535	M.S. 16.5" HACKBERRY

M.S.=MULTI-STEMMED

This tree location survey
certifies the size and location
of the trees depicted hereon.
B&G Surveying, LLC, nor the
undersigned, certify the
Species/Genus of these trees.
For exact Species/Genus
contact a Certified Arborist.



WOODVIEW AVENUE (50' R.O.W.)

LEGEND

●	1/2" REBAR FOUND
○	1/2" CAPPED REBAR SET
○	1/2" IRON PIPE FOUND
▲	60D NAIL FOUND
△	MAG NAIL SET WITH WASHER
—	BREAK IN SCALE
—	CHAIN LINK FENCE
—	WOOD FENCE
—	B.L. BUILDING LINE
—	P.U.E. PUBLIC UTILITY EASEMENT
—	D.E. DRAINAGE EASEMENT
()	PER PLAT
C.M.	CONTROL MONUMENT
R.O.W.	RIGHT OF WAY
OH	OVERHEAD UTILITY LINE
—	POWER POLE
AC	AIR CONDITIONER
TP	TRANSFORMER PAD
F.F.E.	FINISHED FLOOR ELEVATION
F.F.G.	GARAGE FINISHED FLOOR ELEVATION
[]	CALCULATED FROM RECORD DATA

Notes:

- 1) Subject to restrictions and easement rights recorded in Volume 643, Page 243 of the Deed Records; and Volume 7684, Page 1 of the Deed Records, all as recorded in Travis County, Texas.
- 2) 5' Utility installation and maintenance easement recorded in 643/243, does not affect this lot.



TO THE MEMORANDUM AND FOR PRESENT OWNERS OF THE PREMISES SURVEYED AND TO

HERITAGE TITLE COMPANY OF AUSTIN
THE RESOURCES GUARANTY COMPANY

I DO HEREBY CERTIFY TO THOSE LISTED HEREON THAT THIS SURVEY WAS THIS DAY MADE ON THE GROUND,
UNDER MY SUPERVISION, OF THE PROPERTY LEGALLY DESCRIBED HEREON, IS PREPARED IN ACCORDANCE
WITH THE TITLE COMMITMENT REFERENCED HEREON, AND THAT THERE ARE NO VISIBLE BOUNDARY LINE
CONFLICTS, ENCROACHMENTS, OVERLAPPING OF IMPROVEMENTS, OR ROADS IN PLACE, EXCEPT AS SHOWN
HEREON. BUILDING DIMENSIONS ARE APPROXIMATE.

STREET ADDRESS:	5115 WOODVIEW AVENUE	CITY:	AUSTIN	COUNTY:	TRAVIS	STATE OF TEXAS				
LOT:	*	BLOCK:	12	SUBDMSION:	RESUBDIVISION OF SHOALMONT ADDITION	VOL/CAB	4	PG/SLD	9	PLAT RECORDS
REFERENCE NAME:	TBD						G.F. #:	202502358		
							*= WEST 200' OF LOT 7			



B & G SURVEYING, LLC
FIRM REGISTRATION NO. 100363-00
WWW.BANDGSURVEY.COM
1404 West North Loop Blvd.
Austin, Texas 78756 - Office 512*458-6969

JOB #: B0902825_TA
DATE: 09/22/2025
SCALE: 1" = 20'

FIELD WORK BY	WILLIAM	09/17/2025
CALC'D BY	JOSE	09/17/2025
DRAFTED BY	MAYA	09/22/2025
CHECKED BY	VG/ML	09/22/2025

MAYA REVISED 09/24/25